

CITY OF CHARLESTON

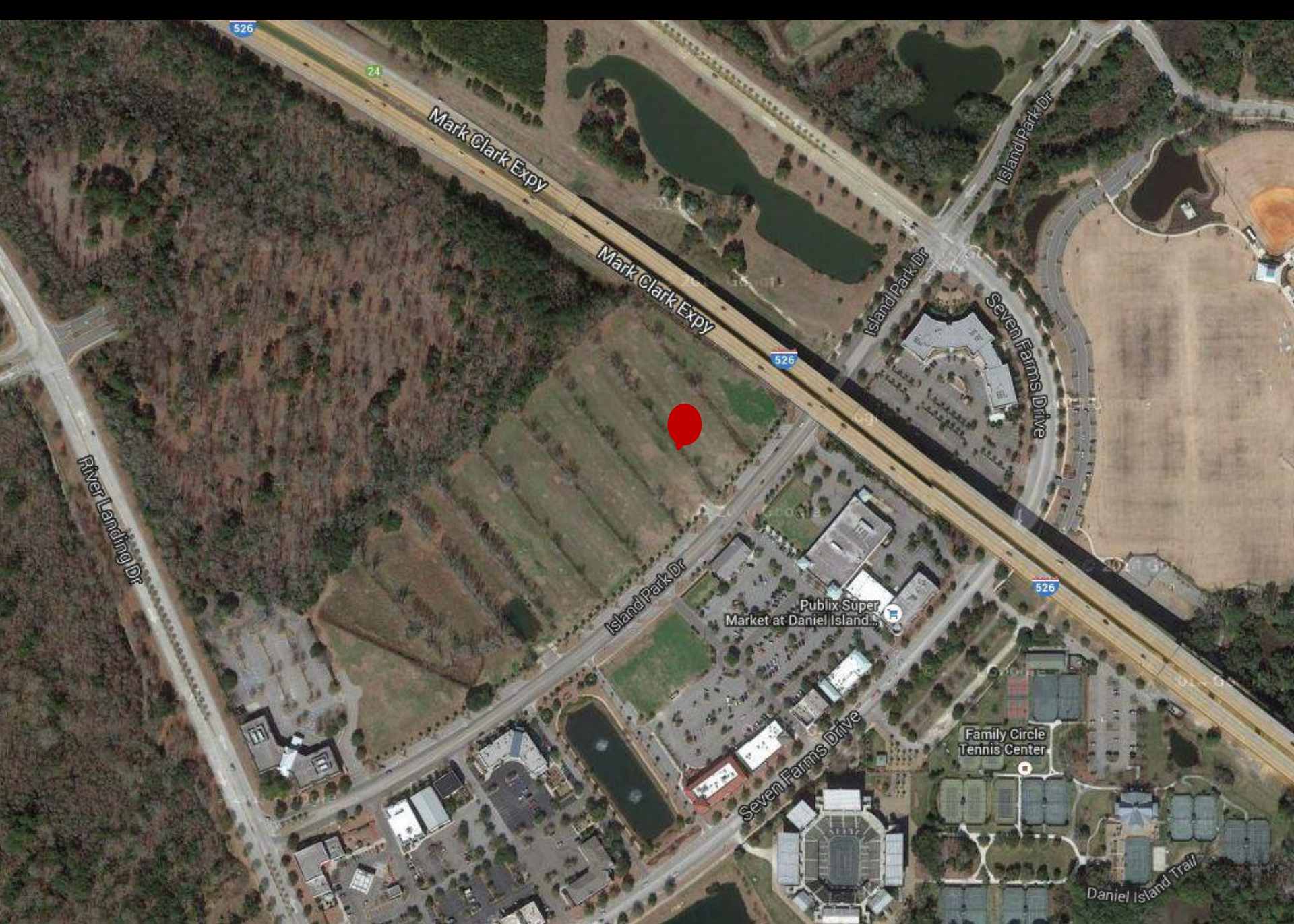
Design Review Board

January 8, 2015 5:00PM

DEPARTMENT OF PLANNING, PRESERVATION AND SUSTAINABILITY

Agenda Item 1:

Island Park Drive & Fairchild Street
Conceptual Review for New Construction
of a Convenience Store, Gas Canopy & Carwash





NEW REFUEL CONVENIENCE STORE

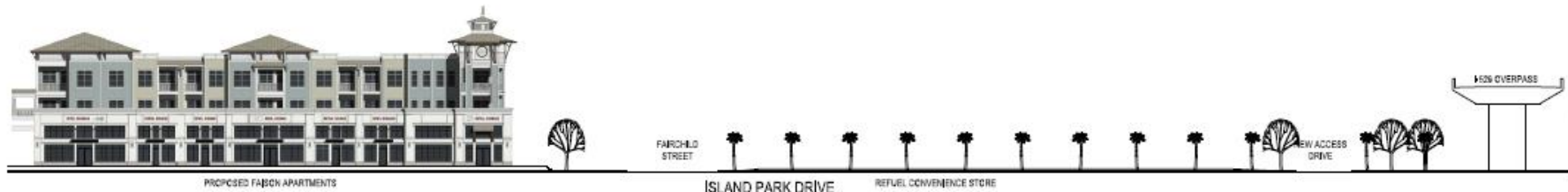
ISLAND PARK DRIVE AT FAIRCHILD STREET

DANIEL ISLAND-BERKELEY COUNTY TMS 2750000157

CHARLESTON, SC

CONCEPTUAL CDRB SUBMITTAL - MEETING DATE: 01,08,2015

STREET ELEVATION



LOCATOR MAP



OWNER

REFUEL, INC.
P.O. BOX 20782
CHARLESTON, SC 29413
PHONE: 843.345.7240 FAX: 843.884.8870

ARCHITECTURAL

COAST ARCHITECTS, INC.
671 ST. ANDREWS BOULEVARD
CHARLESTON, SOUTH CAROLINA 29407
PHONE: 843.763.7064 FAX: 843.763.7061

CIVIL ENGINEERING

MCCORMICK ASSOCIATES
1250 FAIRMONT AVE.
MT. PLEASANT, SOUTH CAROLINA 29464
PHONE: 843.881.7532

LANDSCAPE ARCHITECT

FURMAN LAND DESIGN LANDSCAPE ARCHITECTURE
1207 MERGANZER COURT
MT. PLEASANT, SOUTH CAROLINA 29464
PHONE: 843.881.7230

INDEX OF DRAWINGS

- G001 TITLE SHEET, LOCATOR MAP & INDEX OF DRAWINGS
- G002 SITE IMAGES
- C1 EXISTING CONDITIONS AND DEMOLITION PLAN
- C2 SITE PLAN
- L1 LANDSCAPE PLAN
- L2 PLANT SCHEDULE
- A101 FLOOR PLANS
- A200 PHASE 1 AND 2 ELEVATIONS
- A201 CONVENIENCE STORE ELEVATIONS
- A202 CONVENIENCE STORE ELEVATIONS
- A203 CAR WASH ELEVATIONS



VIEW LOOKING EAST AT THE CORNER OF FAIRCHILD AND ISLAND PARK DRIVE (SITE)



VIEW LOOKING SOUTH-ENTRANCE TO PUBLIX FROM ISLAND PARK DRIVE



I-526 OVERPASS AT ISLAND PARK DRIVE (SITE IS TO THE LEFT)



VIEW FROM UNDER I-526 OVERPASS LOOKING EAST ON ISLAND PARK DRIVE (SITE IS TO THE RIGHT)



GRID NORTH
NAD 83
VERTICAL DATUM
NAVD 29

Residual of
TMS 275-00-00-157
Daniel Island Company, Inc.
Parcel R, Block A/B
No Deed Book Listed
PB O Pg. 31-B, 39-A

SITE - VACANT

Residual of
TMS 275-00-00-157
Daniel Island Company, Inc.
Parcel R, Block A/B
No Deed Book Listed
PB O Pg. 31-B, 39-A

US INTERSTATE I-526
MARK CLARK EXPRESSWAY
(R.N. LANE)
(EAST BOUND LANE REMOVED)

ISLAND PARK DRIVE
1230 CITY OF CHARLESTON A/B

Existing Publix Center

DEMOLITION LEGEND:

Existing Asphalt
TO BE REMOVED
SHOWN TYPICALLY AS

Existing Curb and Gutter
TO BE REMOVED
SHOWN TYPICALLY AS

Existing Trees
TO BE REMOVED
SHOWN TYPICALLY AS

Existing Trees
TO BE REMOVED
SHOWN TYPICALLY AS

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL ITEMS TO BE DEMOLISHED AND REMOVED FROM THE PROJECT SITE. THE VERIFICATION PROCESS SHALL INCLUDE VISITING AND MEASURING THE SITE. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE ENTIRE PROJECT SITE SHALL BE CLEARED AND GRUBBED BY THE CONTRACTOR AS REQUIRED TO COMPLETE THE CONSTRUCTION AS SHOWN ON THE ACCOMPANYING PLANS. REMOVED EXISTING TREES TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR AND SHALL NOT BE REMOVED UNLESS INDICATED BY THE PLANS.
3. THERE SHALL BE NO BURNING ON SITE UNLESS THE CITY OF CHARLESTON APPROVES AND PERMITS BURNING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMIT IF NECESSARY.
4. ALL EXISTING STRUCTURES AND RELATED FOOTINGS, FOUNDATIONS, STEPS, ETC. ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DEPOSED OF ACCORDING TO APPLICABLE REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL AND/OR RELOCATION OF ALL UTILITIES (ABOVE AND BELOW GROUND LEVEL) AS NECESSARY TO FACILITATE CONSTRUCTION.
6. EXISTING TRIPLES, UNWARRANTABLE TRAPS, UNDERGROUND TANKS, IF ENCOUNTERED, ARE TO BE REMOVED FROM THE SITE AND DEPOSED OF ACCORDING TO APPLICABLE CODES. THE LOCATION OF THE TANKS SHALL BE RECORDED AND THE GEOTECHNICAL ENGINEER SHALL BE NOTICED AT ONCE.
7. WELLS, IF ENCOUNTERED, SHALL BE ACCURATELY LOCATED BY THE CONTRACTOR AND THE SURROUNDING AREA SHALL BE DEMOLISHED AND GRADES SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF DRAINAGE ENTERS THE WELL-GROUNDING. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT ONCE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL MONITORING WELLS (IF ENCOUNTERED).
9. THE CONTRACTOR SHALL CONSULT THE OWNER REGARDING SALVAGE. ANY ITEMS NOT RETAINED BY THE OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMOLISH AND/OR LEGALLY DISPOSE OF.
10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
11. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE AGENCIES FOR PROPER REMOVAL AND DISPOSAL.
12. DEMOLITION SHALL MEET ALL APPLICABLE STATE, LOCAL, AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS.

- NOTES:
1. THE TOTAL AREA OF SITE IS 2.8 ACRES, PRIMARY FRONT SETBACK TO ROAD TO LINE SEE 10' AND REAR 15'. OWNED BY YOUNG CENTRE ZONING, SUPPORT COMMERCIAL.
 2. SITE IS BOUNDARY AS SHOWN BY 17TH-18TH-19TH AND A PORTION OF PARCELS 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
 3. BOUNDARY AND TOPOGRAPHICAL SURVEYING BY STANLEY SURVEYING, INC.
 4. THE PROPOSED DEVELOPMENT IS A SERVICE STATION FACILITY AND GAS STATION.
 5. THE SITE IS PRESENTLY VACANT AND IS USED FOR EVENT PARKING.
 6. ALL CHANGING ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 7. REFER TO PARKING SUMMARY FOR STALL SIZES AND COUNT.
 8. THE SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 9. THIS SITE IS A PAVED DRIVE AS ELEVATION 12.0 INDICATED BY SECTION FROM TEMA 45010C, PANEL 1025A, DATED NOVEMBER 17, 2004.
 10. DANIEL ISLAND AREA REVENUE DATE ON 12/15/14.
 11. CITY OF CHARLESTON CONCEPTUAL TYP ON 11/20/14, BOCA FOR 60' VARIANCE APPROVED ON 12/3/14.
 12. CITY OF CHARLESTON AREA CONCEPT ON 12/3/14.
 13. CITY OF CHARLESTON PRELIMINARY TYP ON 12/3/14.
 14. CITY OF CHARLESTON PRELIMINARY TYP ON 12/3/14.
 15. DANIEL ISLAND FINAL APP ON 12/3/14.
 16. CITY OF CHARLESTON FINAL APP ON 12/3/14.
 17. OWNER/PRIMARY CONTRACTOR: HARRIS JORDAN PO BOX 20782 CHARLESTON, SC 29415, 843.345.7240
 18. ARCHITECT: COAST ARCHITECTS, 4100E MOORE 345.763.7064
 19. CIVIL ENGINEER: MCCORMICK AND ASSOCIATES OF S.C., INC.
 20. LANDSCAPE ARCHITECT: JODY FURNAN, FURNAN DESIGN

CITY ID 141110-ISLAND PARK DRIVE

EXISTING CONDITIONS and DEMOLITION PLAN

PREPARED FOR

REFUEL 18

CITY OF CHARLESTON, DANIEL ISLAND, SOUTH CAROLINA

DATE:

December 31, 2014

Scale: 1" = 30'

MCCORMICK and ASSOCIATES OF S.C., INC.

1253 Fairmont Avenue, Mt. Pleasant, South Carolina - 29464

(843) 971-3666 Office (843) 881-7532 Fax mccormickassoc@bellsouth.net

Project Number: 504

Drawing No. C1 of C2

CONCEPT DBR

REGISTERED PROFESSIONAL ENGINEER
NO. 19498

Station	Sta.	Date	Description	Unit
1	0+00		START	STA
2	0+10			STA
3	0+20			STA
4	0+30			STA
5	0+40			STA
6	0+50			STA
7	0+60			STA
8	0+70			STA
9	0+80			STA
10	0+90			STA
11	1+00			STA
12	1+10			STA
13	1+20			STA
14	1+30			STA
15	1+40			STA
16	1+50			STA
17	1+60			STA
18	1+70			STA
19	1+80			STA
20	1+90			STA
21	2+00			STA
22	2+10			STA
23	2+20			STA
24	2+30			STA
25	2+40			STA
26	2+50			STA
27	2+60			STA
28	2+70			STA
29	2+80			STA
30	2+90			STA
31	3+00			STA
32	3+10			STA
33	3+20			STA
34	3+30			STA
35	3+40			STA
36	3+50			STA
37	3+60			STA
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39	3+80			STA
40	3+90			STA
41	4+00			STA
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95	9+40			STA
96	9+50			STA
97	9+60			STA
98	9+70			STA
99	9+80			STA
100	9+90			STA

CALL 3 WORKING DAYS BEFORE
YOU DIG, DRILL, BLAST OR BORE!!!

TOLL FREE

1-800-922-0883

PAUMETTU UTILITY PROTECTION SERVICE

SOUTH CAROLINA PUPS

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE 48" ONLY
AND HAVE NOT BEEN RECENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE
CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE
CONSTRUCTING ANY WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH
MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND
ALL UNDERGROUND UTILITIES.

EXISTING UTILITIES:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE 48" ONLY
AND HAVE NOT BEEN RECENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE
CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE
CONSTRUCTING ANY WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH
MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND
ALL UNDERGROUND UTILITIES.

User Table

Use # Length Description

1. 100' 100' 100' 100'

Curve Table

Curve # Length Radius Delta Chord Chord Bearing

C1 25.00 474.50 80.24 28.51 160° 14' 19"

C2 15.00 1000.00 90° 00' 00" 28.65 160° 17' 10"

C3 211.00 11384.16 60° 00' 00" 281.68 160° 17' 27"

C4 241.55 11384.16 60° 00' 00" 241.54 164° 02' 55"

C5 280.80 2376.87 80° 00' 00" 280.81 160° 32' 12"

Benchmark Table

Point # Elevation Description Elevation

10001 BM 1001 1001 1001 1001 1001 1001 1001 1001 1001 1001

10002 BM 1002 1002 1002 1002 1002 1002 1002 1002 1002 1002

10003 BM 1003 1003 1003 1003 1003 1003 1003 1003 1003 1003



Residual of
TMS 275-00-00.157
Daniel Island Company, Inc.
Parcel B, Block A/B
No Deed Book Listed
PE O Pg. 31-B, 39-A

FURMAN
LandDesign, LLC
Landscape Architecture
July 7, 2013
www.furmanlanddesign.com


Seal 1: LANDSCAPE ARCHITECT, No. 107, State of North Carolina
Seal 2: LANDSCAPE DESIGNER, No. 230, State of North Carolina

John E. Furman

Region	Year	Country	Value
Asia	2002		502
Asia	2003		502
Asia	2004		502
Asia	2005		502
Asia	2006		502
Asia	2007		502
Asia	2008		502
Asia	2009		502
Asia	2010		502
Asia	2011		502
Asia	2012		502
Asia	2013		502
Asia	2014		502
Asia	2015		502
Asia	2016		502
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Asia	2099		502
Asia	2100		502

Disclaimers:

THE LOCATION OF LISTED UNDERGROUND TUNNELS ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDIVIDUALLY CHECKED BY THE BUREAU OF ITS AGENTS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL LISTED TUNNELS BEFORE CONDUCTING ANY WORK, AND AVOID BEING FULLY RESPONSIBLE FOR ANY AND ALL INJURIES OR DEATHS OCCURRING BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND TUNNELS.

<u>SITE PLAN</u>	
PREPARED FOR	
<u>REFUEL 18</u>	
CITY OF SIOUX FALLS, SOUTH DAKOTA	
DATE	SCALE
<u>December 31, 2014</u>	<u>Scale: 1" = 30'</u> 
<u>McCORMICK and ASSOCIATES OF S.C., INC.</u> <u>Civil Engineers</u> 1250 Fairmont Avenue, NE, Pleasant, South Carolina - 29464 (843) 971-3646 Office (843) 881-7532 Fax mcormickandassociates@earthlink.net	
Project Number	Drawing No. 11 of 2

L1
LANDSCAPE PLAN



GRID NORTH
MAD 56 13
VERTICAL DATUM
NAVD 83

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT/SIZE	QUANTITY
T R E E S				
NS	NYSSA SYLVATICA	BLACK GUM	2.5" CALIBER	
CS	CAROLINA SAHRIE CYPRESS	CAROLINA SAHRIE CYPRESS	6' HT.	
WV	WALNUT	WALNUT	2.5" CALIBER	
PP	PISTIA MILES	PISTIA MILES	2.5" CALIBER	
U	LAURISTOMA NATHREZ	GRAPE VINE STANDARDS	10' HT.	
SP	SABAL PALMETTO	PALMETTO	10-12' HT.	
CC	CECIS RISING SUN	RISING SUN REBUD ONLY	7' HT.	
S H R U B S				
LF	LOREAFALUM CRIMSON RUE	CRIMSON RUE LOREAFALUM	3 GAL.	
JA	JACARANDA	ASIAN JASMINE	8' POT/24" G.E.	
CM	CHITOCORUM	MOON CHITOCORUM	7 GAL.	
CO	COYOTE BUT	COYOTE BUT	1 GAL.	
SWG	SWEETGRASS	SWEETGRASS	1 GAL. (30" G.E.)	
VO/VOIS	VERBENUM COORATISIMA	SWEET VERBENUM	7 GAL./15 GAL.	
PV	PANICUM NORTHWARD	NORTHWARD PANICUM	3 GAL.	
AL	ALICE	ALICE	3 GAL.	
IL	ITALIAN CYPRESS	ITALIAN CYPRESS	7 GAL.	
CH	CHADWICKS HUMULUS	WED. FAN PALM	15 GAL.	
DR	DRIFT ROSE	DRIFT ROSE	3 GAL.	
NRS	NORSE	NORSE	6 HT.	
BS	BRECKENRIDGE	BRECKENRIDGE	1 GAL.	

LAWN/BERMUDA 500'

1" PINE STRAW

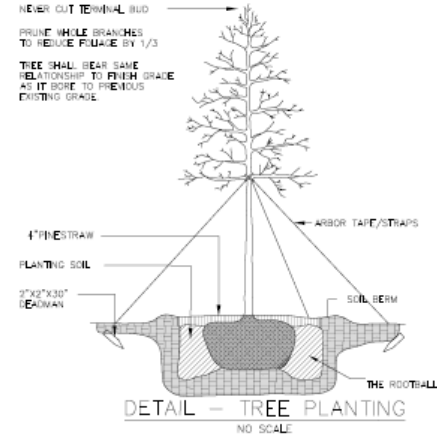
1"-2" TOPSOIL REQUIRED... (REMOVE EX. FILL DIRT BEFORE PLANTING)

TOPSOIL

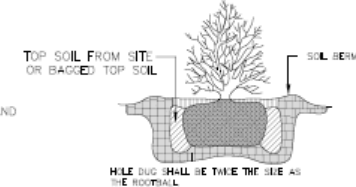
SPREAD EVENLY 2" TOPSOIL AT ALL NEWLY PLANTED AREAS.

IRRIGATION NOTES

1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
3. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
4. ALL PLANTED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT.
5. EXISTING IRRIGATION AS-BUILTS SHALL BE PROVIDED UPON REQUEST FROM OWNER. LANDSCAPE CONTRACTOR SHALL COORDINATE PIPING AND CONNECTION TO AN EX. APPROVED WATER METER.
6. PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
7. IRRIGATION TIME CLOCK AND POWER SUPPLY LOCATION SHALL BE COORDINATED WITH OWNER.
8. EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
9. IRRIGATION SYSTEM SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
10. THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.



PLANT SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE



DETAIL - SHRUB PLANTING
NO SCALE



Station	Loc.	Remarks
100		
101		
102		
103		
104		
105		
106		
107		
108		
109		
110		

CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BOREHOLE

1-800-922-0983

PALMETTO UTILITY PROTECTION SERVICE

701 CAROLINA BOULEVARD

MEMPHIS, TN 38103

1-800-922-0983

NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES.

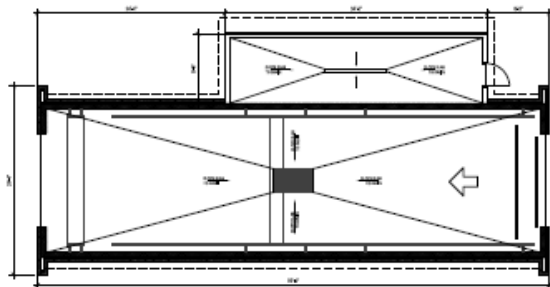
PREPARED FOR
REFUEL 18
CITY OF CHARLESTON, SOUTH CAROLINA

DATE: December 31, 2015 Scale: 1" = 30'

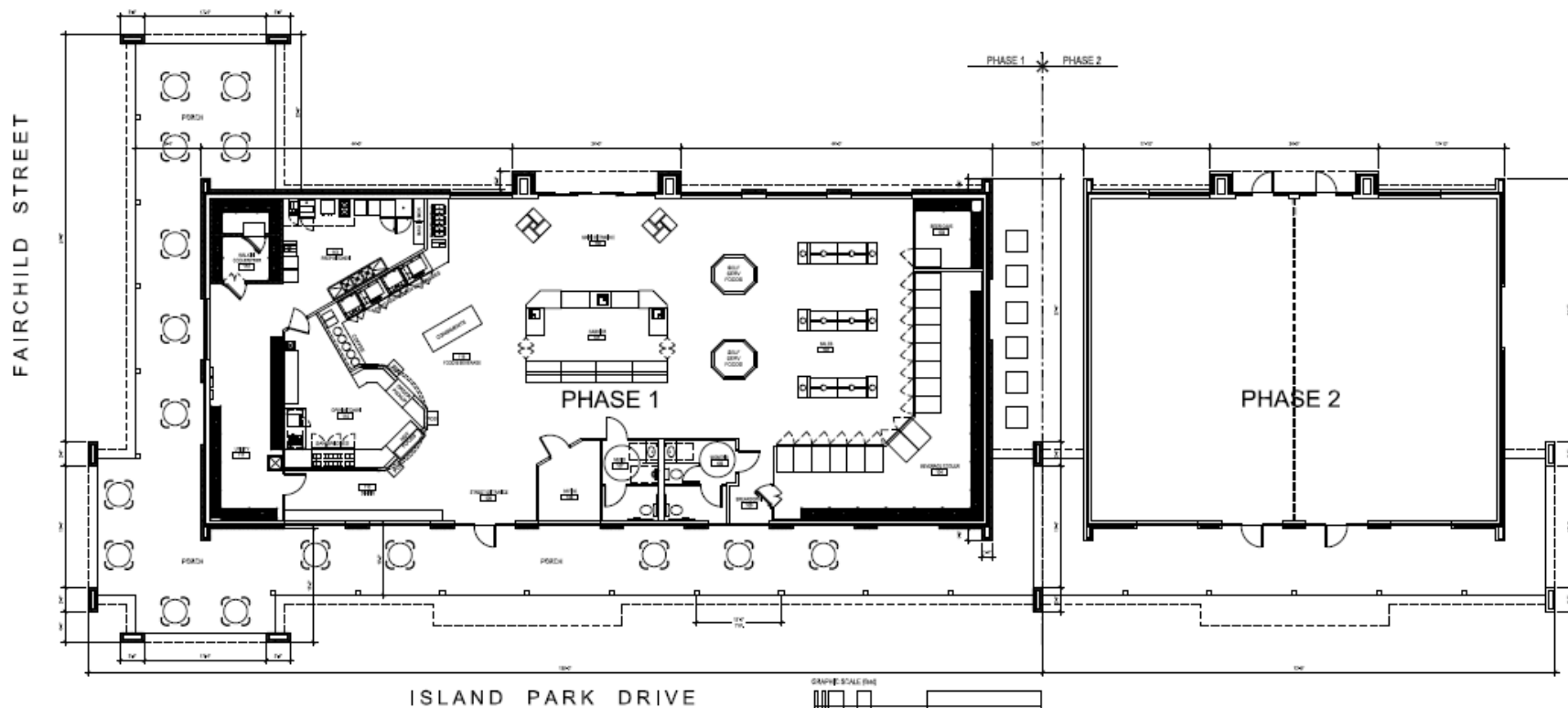
M cCORMICK and ASSOCIATES OF S.C., INC.
CIVIL ENGINEERS
1250 Palmetto Avenue, Mt. Pleasant, South Carolina - 29464
(843) 971-3646 Office (843) 881-7532 Fax: mccormickassociates@earthlink.net

Project Number: Signature No. 12 of 2

L2
PLANT SCHEDULE

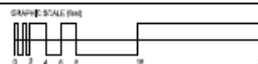


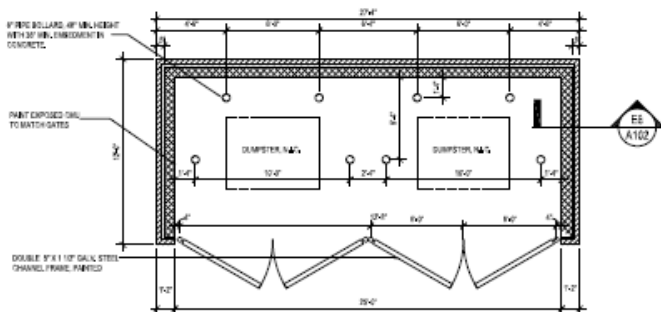
NORTH PLAN NORTH
 A6 CAR WASH PLAN
 A102 SCALE: 1/8"=1'-0"



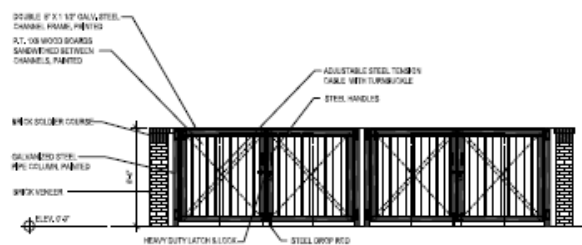
ISLAND PARK DRIVE

NORTH PLAN NORTH
 A1 C-STORE FLOOR PLAN
 A101 SCALE: 1/8"=1'-0"

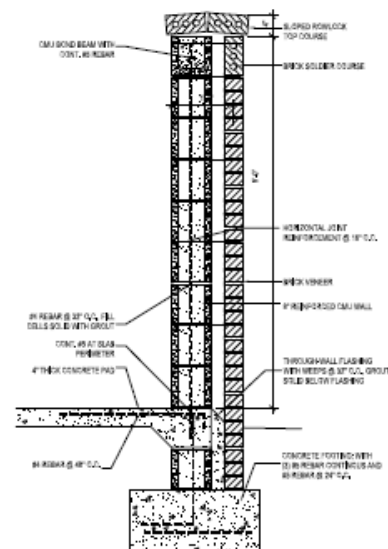




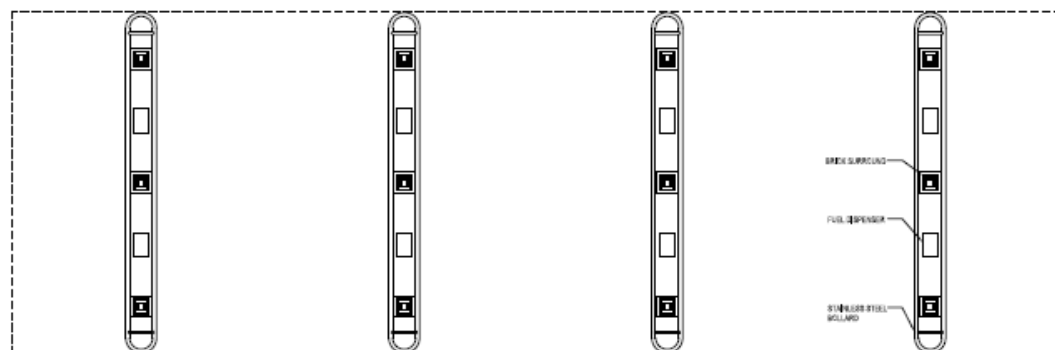
F1
A102 DUMPSTER SCREEN PLAN
SCALE: 1/4" = 1'-0"



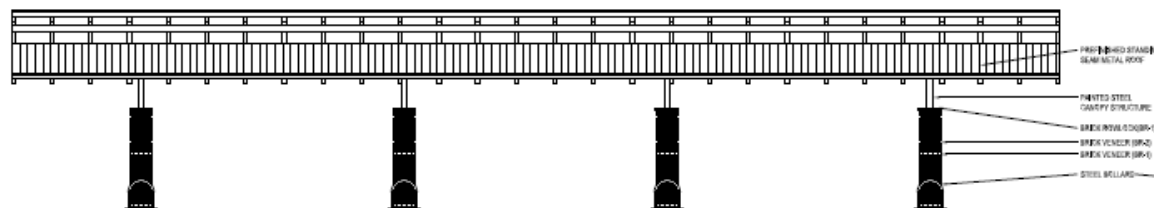
F5
A102 DUMPSTER SCREEN ELEVATION
SCALE: 1/4" = 1'-0"



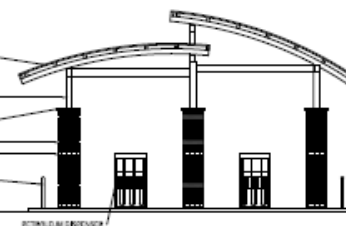
E8
A102 DUMPSTER SCREEN WALL SECTION
SCALE: 1" = 1'-0"



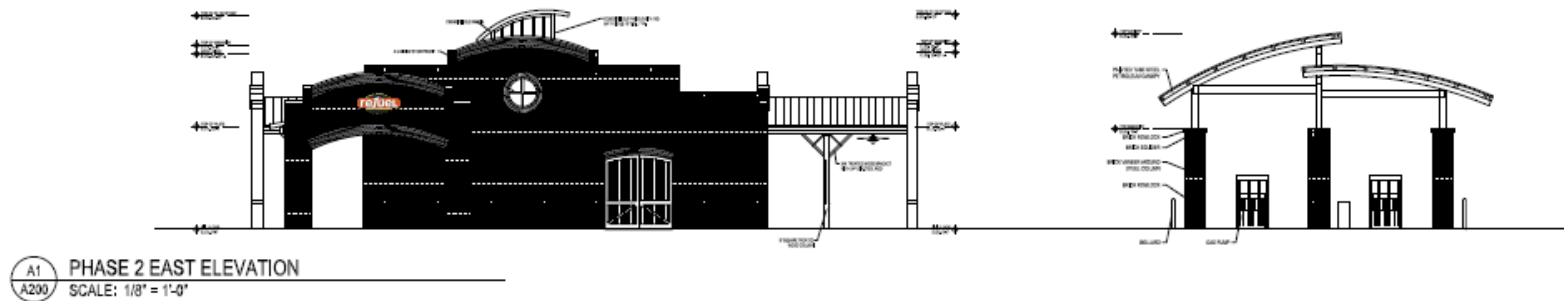
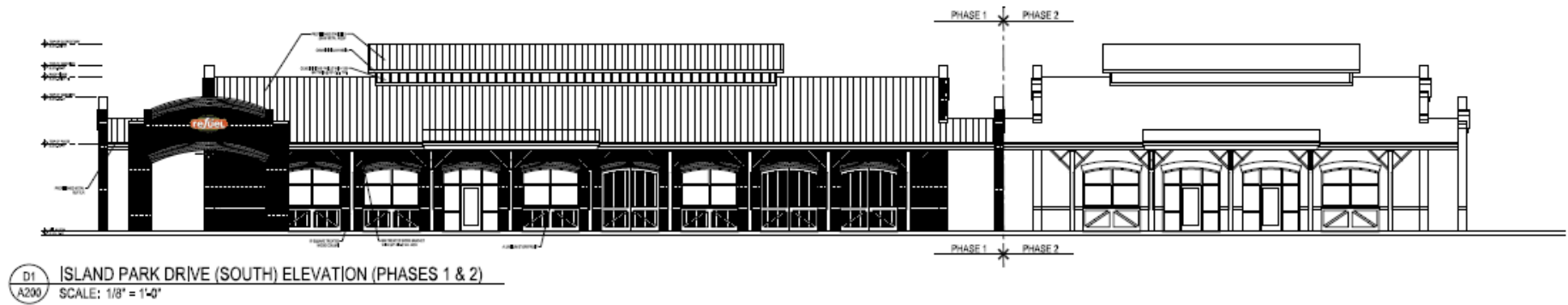
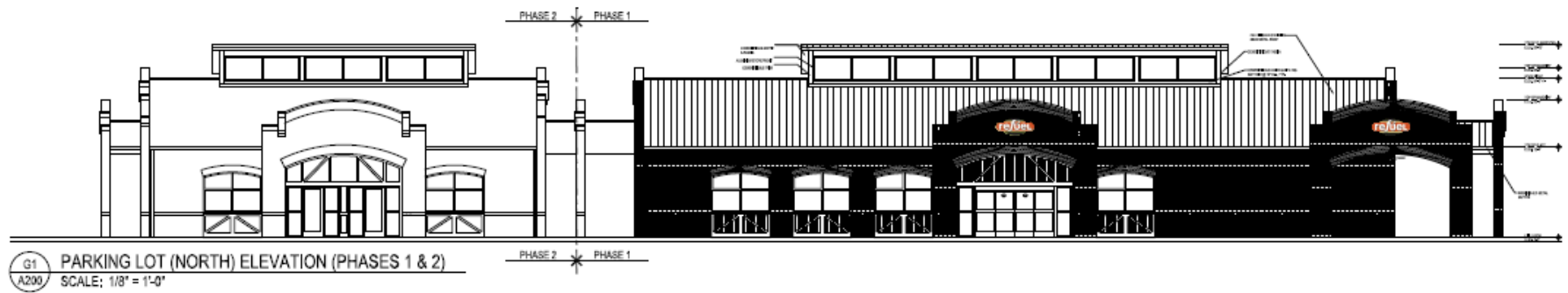
C1
A102 PRETROLEUM CANOPY PLAN
SCALE: 1/8" = 1'-0"

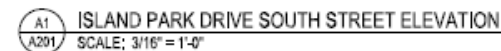
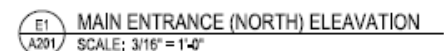


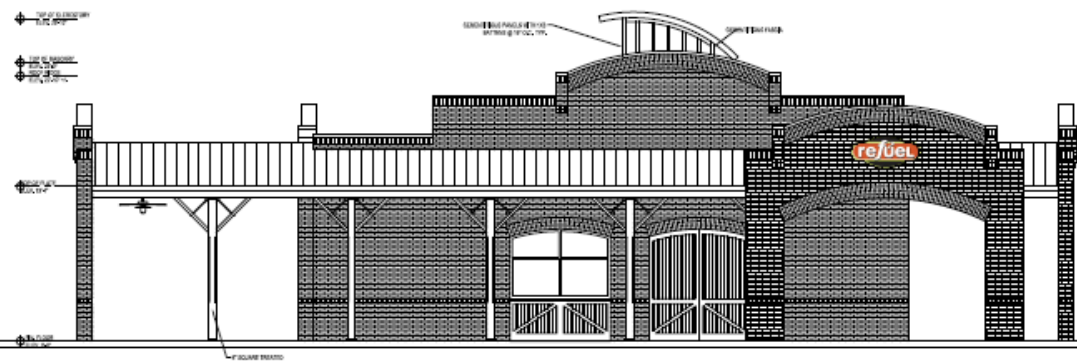
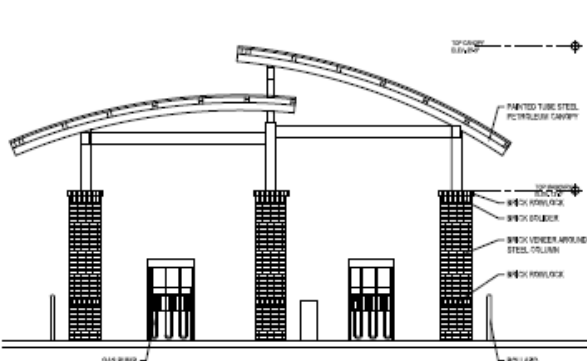
A1
A102 PRETROLEUM CANOPY WEST ELEVATION
SCALE: 1/8" = 1'-0"



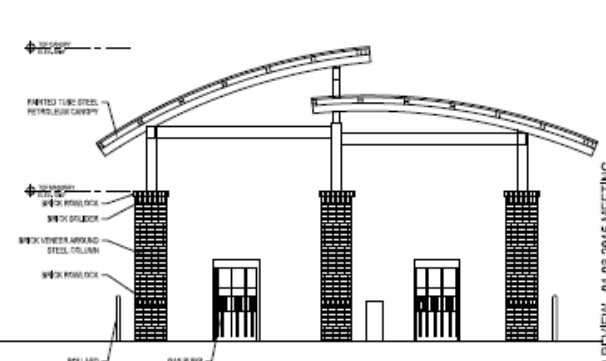
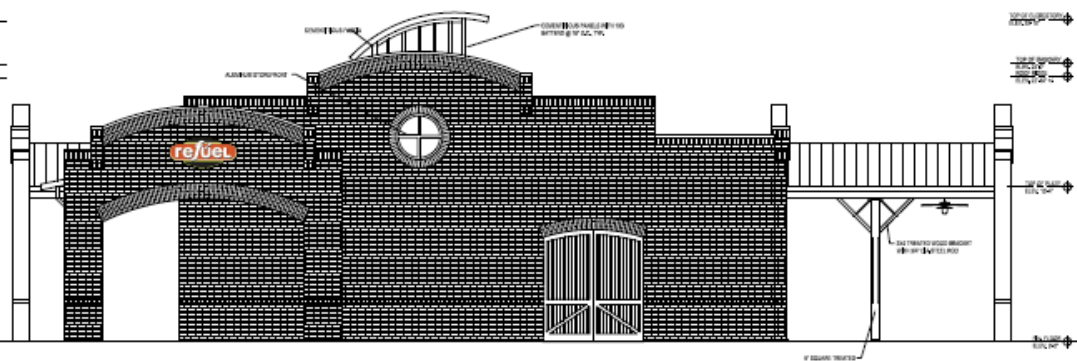
A7
A102 PRETROLEUM CANOPY SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



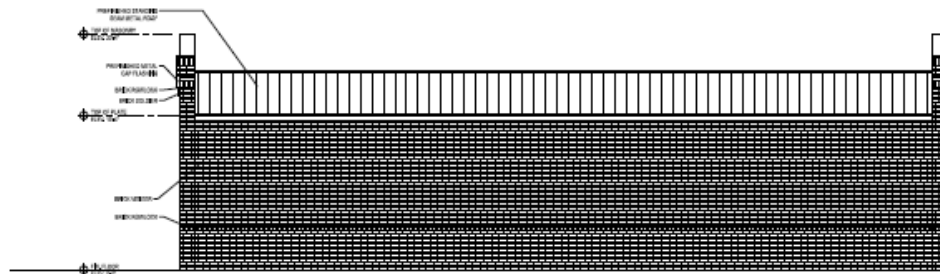




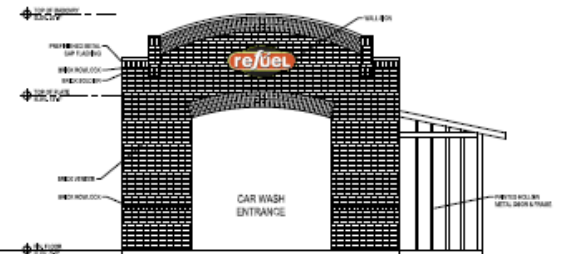
E1 FAIRCHILD STREET ELEVATION
SCALE: 3/16" = 1'-0"



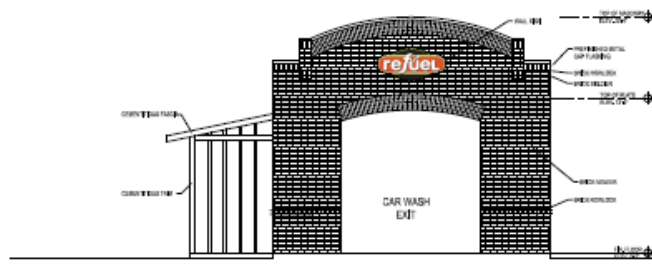
A1 EAST (SIDE) ELEVATION
SCALE: 3/16" = 1'-0"



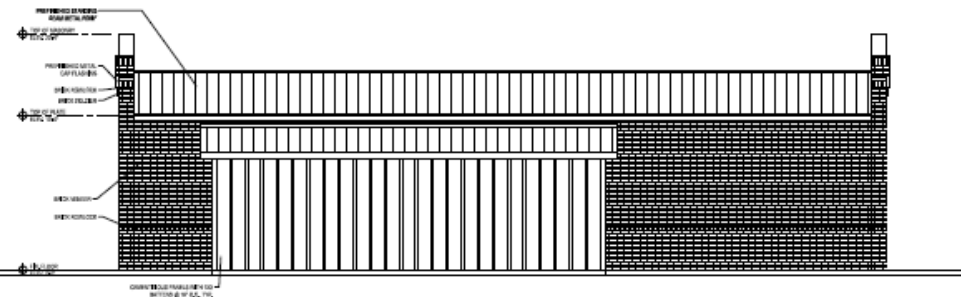
E1
A203 CAR WASH SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



E2
A203 CAR WASH EAST ELEVATION
SCALE: 3/16" = 1'-0"



A1
A203 CAR WASH WEST ELEVATION (FACING FAIRCHILD STREET)
SCALE: 3/16" = 1'-0"

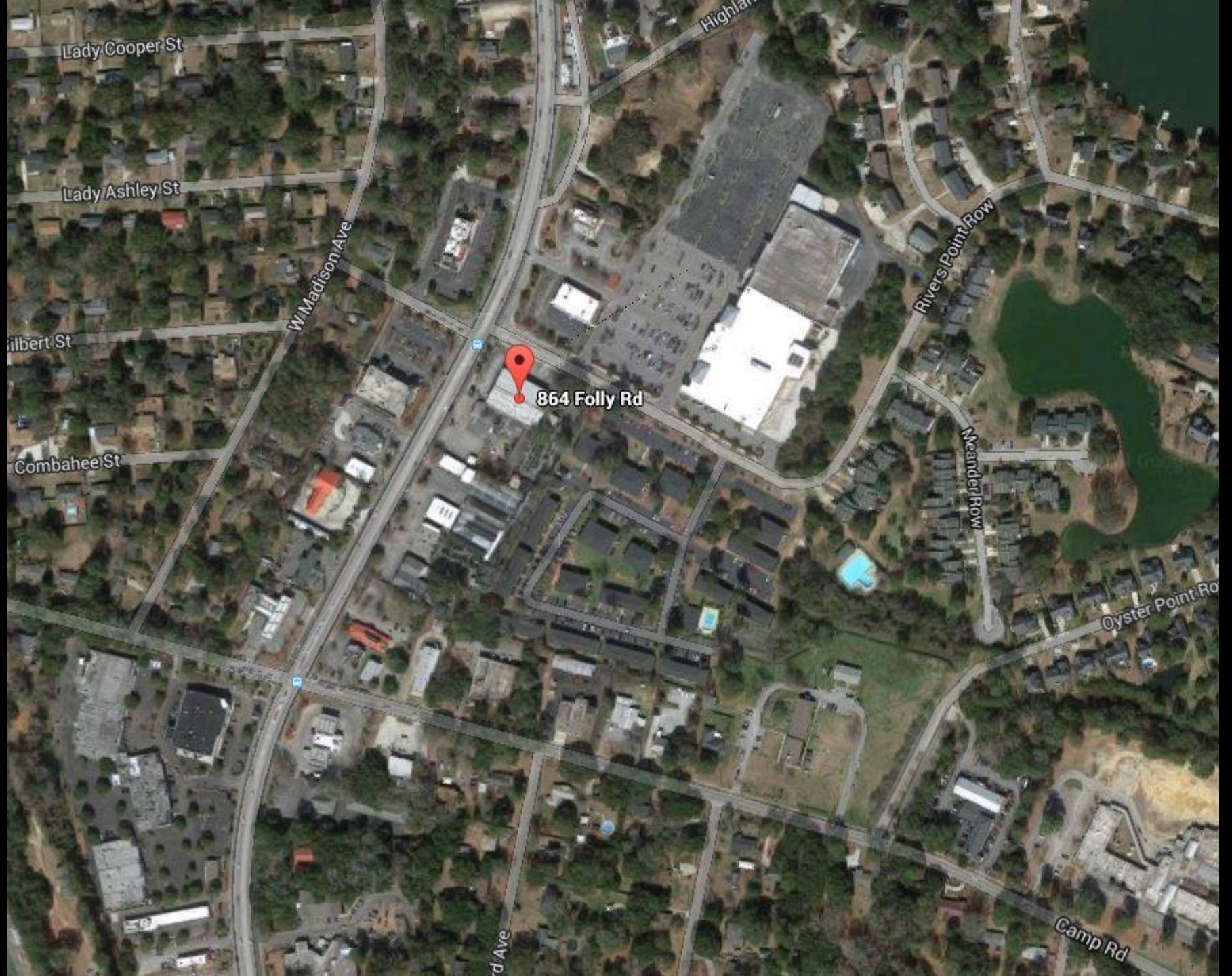


A6
A203 CAR WASH NORTH ELEVATION
SCALE: 3/16" = 1'-0"

Agenda Item 2:

864 Folly Road

Conceptual Review for New Construction
of a Retail Building



Lady Cooper St

Lady Ashley St

W Madison Ave

Gilbert St

Combahee St

864 Folly Rd

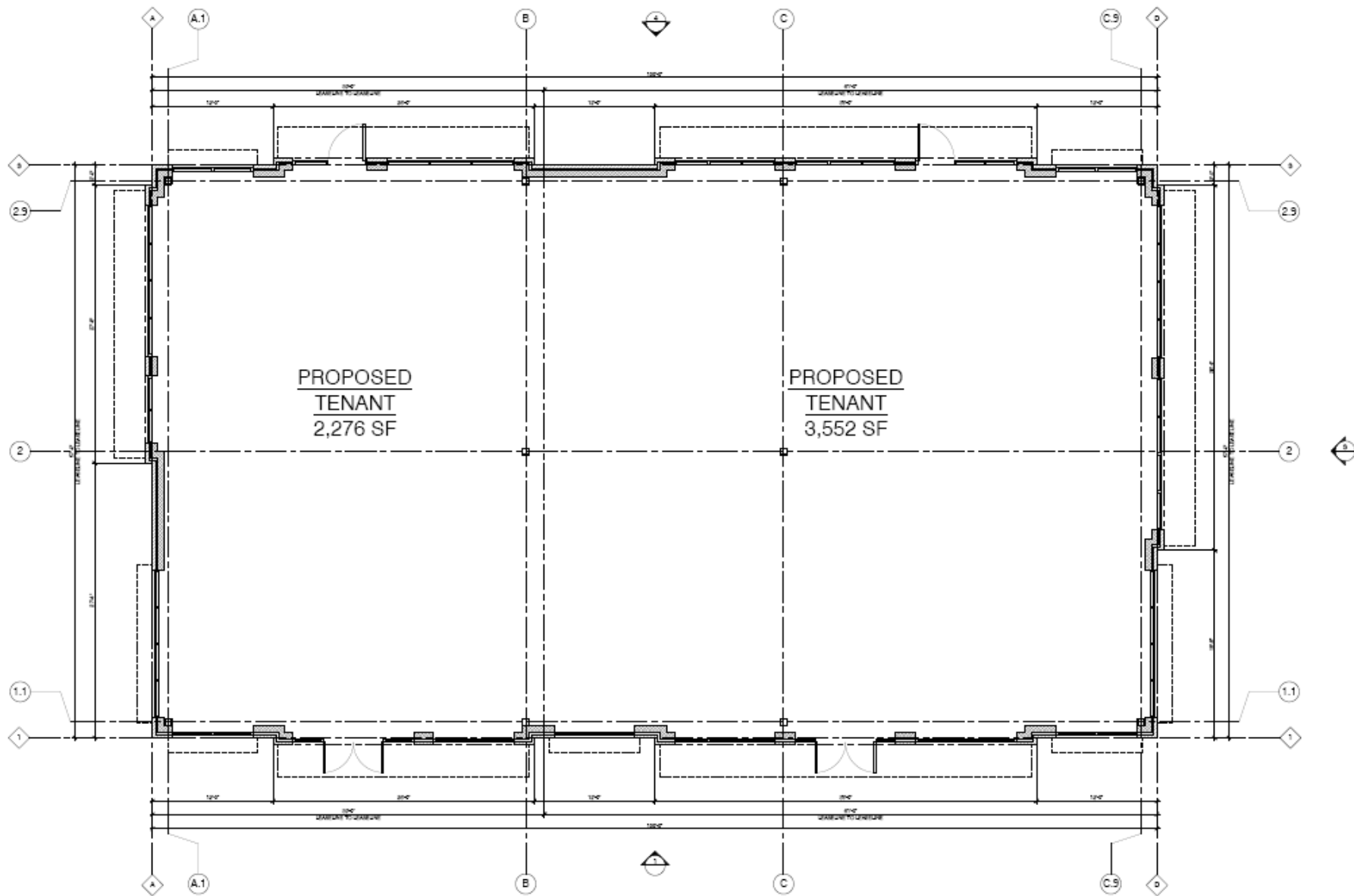
Highlan

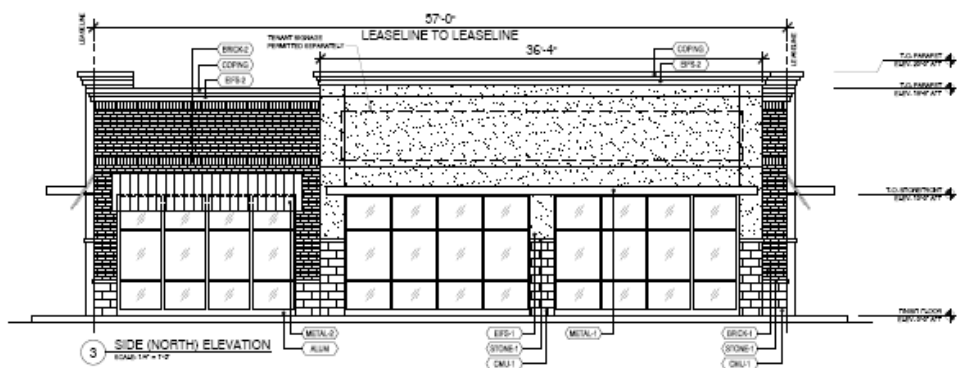
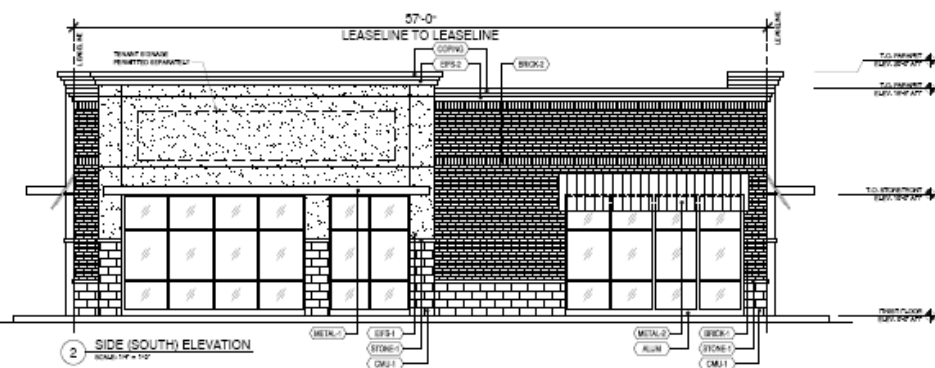
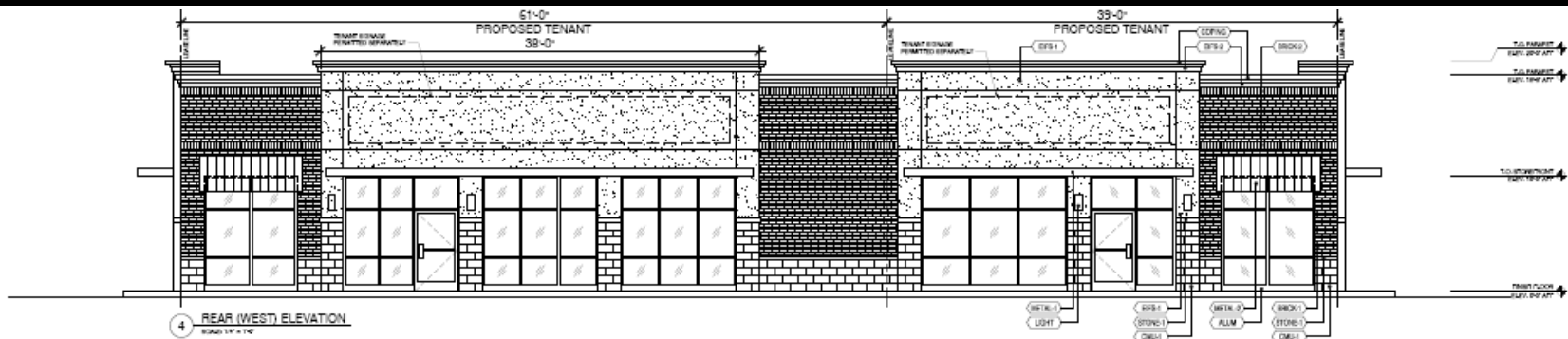
Rivers Point Row

Meander Row

Oyster Point Ro

Camp Rd





NOTE:
TENANT SIGNAGE PERMITTED SEPARATELY

EXTERIOR SYMBOL LEGEND

ALUM	ALUMINUM POST/RAIL SYSTEM COLOR: QUARTZ WOODS
BRICK1	BRICK 1/2\"/>

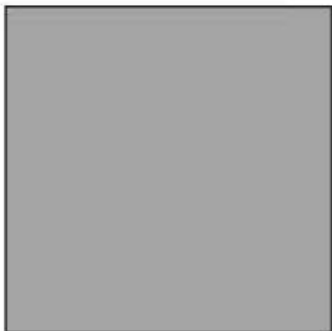




AERIAL VIEW LOOKING SOUTH - EXISTING CONDITIONS



AERIAL VIEW LOOKING SOUTH - PROPOSED



ALUM

ALUMINUM STOREFRONT SYSTEM
COLOR: CLEAR ANODIZED



BRICK-1

BRICK VENEER
GENERAL SHALE BRICK CO.
COLOR: "ENGLISH PUB" #6060011314



BRICK-2

BRICK VENEER
GENERAL SHALE BRICK CO.
COLOR: "IRONWORKS" #6060011082



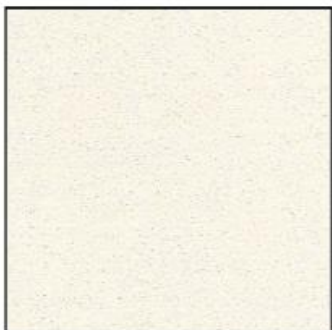
COPING

PREFINISHED METAL COPING
COLOR TO MATCH: SW6258
"TRICORN BLACK"



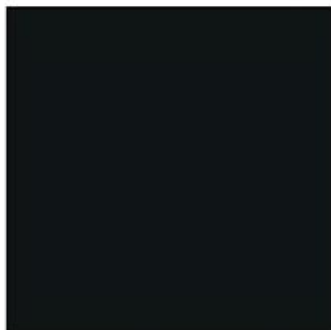
CMU-1

SPLIT FACE CMU
ANGELUS BLOCK COMPANY
COLOR: DUSTY BROWN;
INTEGRAL COLOR



EIFS-1

EXTERIOR INSULATED FINISH SYSTEM
DRYVIT - COLOR: "COTTON" #442
SANDBLAST FINISH



EIFS-2

EXTERIOR INSULATED FINISH SYSTEM
COLOR TO MATCH: SW 6258
"TRICORN BLACK"



METAL-1

STEEL & PREFINISHED ALUMINUM
CANOPIES
COLOR: MATTE BLACK



METAL-2

PREFINISHED STANDING SEAM
METAL ROOF
MCELROY METAL
COLOR: MATTE BLACK



STONE-1

CAST STONE 4" HIGH WATERTABLE
ARRISCRAFT BUILDING STONE
COLOR: OAK RIDGE



NOTE:
TENANT SIGNAGE PERMITTED SEPARATELY

EXTERIOR SYMBOL LEGEND

- ALUM ALUMINUM STOREFRONT SYSTEM
COLOR: CL-3000 ANODIZED
- BRICK1 BRICK VENEER
GENERAL: BROWN PLAIN ANTIKISTA
- BRICK2 BRICK VENEER
GENERAL: BROWN PLAIN ANTIKISTA
- CORNG PREPARED BRICK CORNER
COLOR: TO MATCH BRICK "FIRECLAY BLACK"
- CMU1 BRICK VENEER
GENERAL: BROWN PLAIN ANTIKISTA
- CMU2 BRICK VENEER
GENERAL: BROWN PLAIN ANTIKISTA
- EPS1 EXTERIOR INSULATED FINISH SYSTEM
COLOR: TO MATCH BRICK "FIRECLAY BLACK"
- EPS2 EXTERIOR INSULATED FINISH SYSTEM
COLOR: TO MATCH BRICK "FIRECLAY BLACK"
- METAL1 STEEL & ALUMINUM CANOPIES
COLOR: WHITE BLACK
- METAL2 EXTERIOR INSULATED FINISH SYSTEM
COLOR: TO MATCH BRICK "FIRECLAY BLACK"
- STONE1 CAST STONE - FISH SCALE FINISH





EXISTING CONDITIONS - WEST ELEVATION (FOLLY ROAD)



PROPOSED - WEST ELEVATION (FOLLY ROAD)

PLANT SCHEDULE

PLANT	COMMON NAME	PLANTING SPEC	PLANTING SPEC	PLANTING SPEC
1. LOR	Low Ornamental Tree (LOR)	1. LOR	1. LOR	1. LOR
2. LOR	Low Ornamental Tree (LOR)	2. LOR	2. LOR	2. LOR
3. LOR	Low Ornamental Tree (LOR)	3. LOR	3. LOR	3. LOR
4. LOR	Low Ornamental Tree (LOR)	4. LOR	4. LOR	4. LOR

PLANT	COMMON NAME	PLANTING SPEC	PLANTING SPEC	PLANTING SPEC
5. LOR	Low Ornamental Tree (LOR)	5. LOR	5. LOR	5. LOR
6. LOR	Low Ornamental Tree (LOR)	6. LOR	6. LOR	6. LOR
7. LOR	Low Ornamental Tree (LOR)	7. LOR	7. LOR	7. LOR
8. LOR	Low Ornamental Tree (LOR)	8. LOR	8. LOR	8. LOR

PLANT	COMMON NAME	PLANTING SPEC	PLANTING SPEC	PLANTING SPEC
9. LOR	Low Ornamental Tree (LOR)	9. LOR	9. LOR	9. LOR
10. LOR	Low Ornamental Tree (LOR)	10. LOR	10. LOR	10. LOR
11. LOR	Low Ornamental Tree (LOR)	11. LOR	11. LOR	11. LOR
12. LOR	Low Ornamental Tree (LOR)	12. LOR	12. LOR	12. LOR

PLANT	COMMON NAME	PLANTING SPEC	PLANTING SPEC	PLANTING SPEC
13. LOR	Low Ornamental Tree (LOR)	13. LOR	13. LOR	13. LOR
14. LOR	Low Ornamental Tree (LOR)	14. LOR	14. LOR	14. LOR
15. LOR	Low Ornamental Tree (LOR)	15. LOR	15. LOR	15. LOR
16. LOR	Low Ornamental Tree (LOR)	16. LOR	16. LOR	16. LOR

PLANT	COMMON NAME	PLANTING SPEC	PLANTING SPEC	PLANTING SPEC
17. LOR	Low Ornamental Tree (LOR)	17. LOR	17. LOR	17. LOR
18. LOR	Low Ornamental Tree (LOR)	18. LOR	18. LOR	18. LOR
19. LOR	Low Ornamental Tree (LOR)	19. LOR	19. LOR	19. LOR
20. LOR	Low Ornamental Tree (LOR)	20. LOR	20. LOR	20. LOR

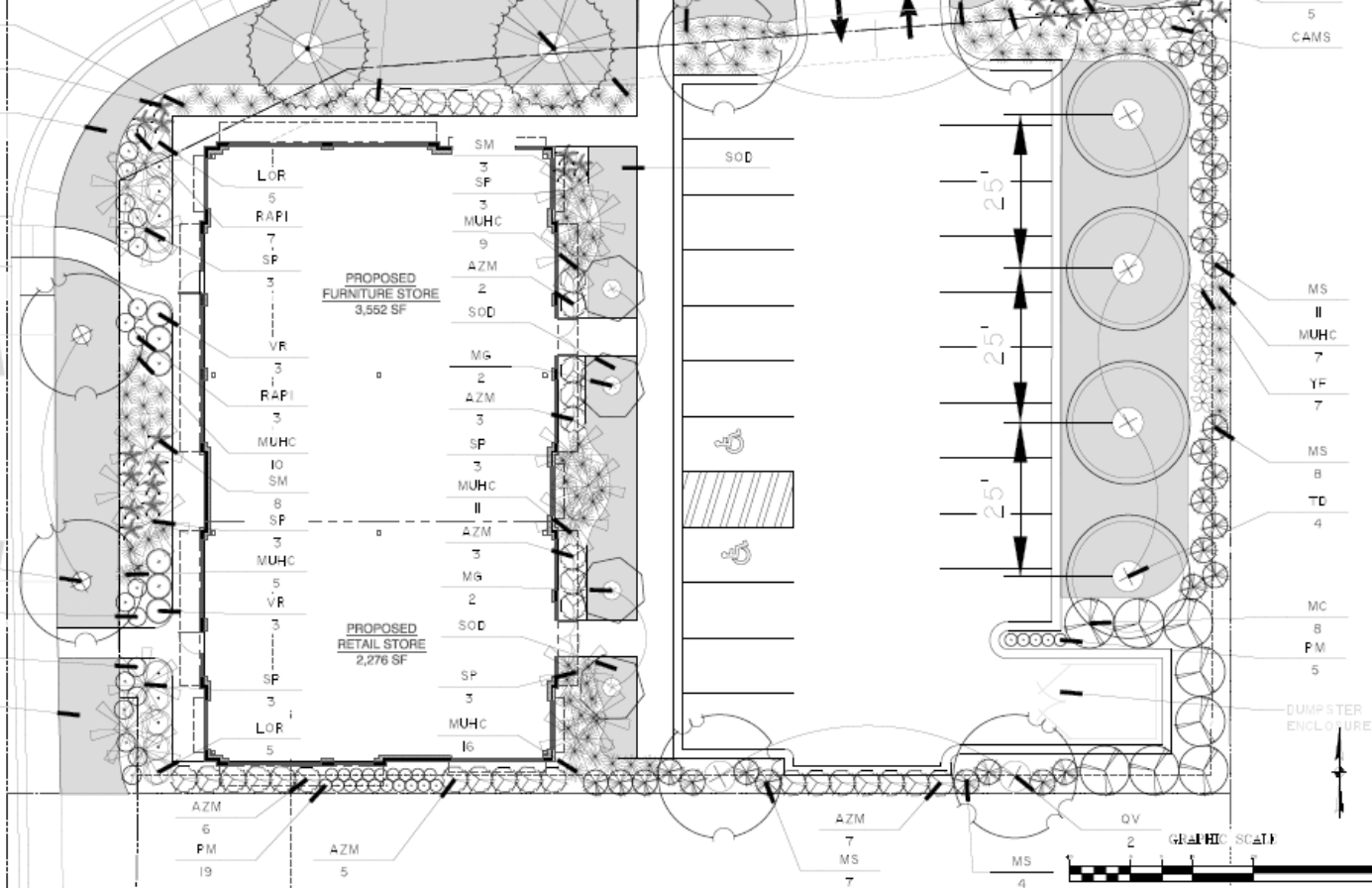
PLANT	COMMON NAME	PLANTING SPEC	PLANTING SPEC	PLANTING SPEC
21. LOR	Low Ornamental Tree (LOR)	21. LOR	21. LOR	21. LOR
22. LOR	Low Ornamental Tree (LOR)	22. LOR	22. LOR	22. LOR
23. LOR	Low Ornamental Tree (LOR)	23. LOR	23. LOR	23. LOR
24. LOR	Low Ornamental Tree (LOR)	24. LOR	24. LOR	24. LOR

TYPE C ROAD BUFFER-FOLLY ROAD
 100 LF - FOLLY ROAD
 = (100 LF) / 100 = 1 MULTIPLIER
REQUIRED:
 1 X 2 = 2 RECOMMENDED TREES
 1 X 5 = 5 UNDERSTORY TREES
 1 X 60 = 60 ORNAMENTAL SHRUBS
PROPOSED:
 2 RECOMMENDED TREES
 9 UNDERSTORY TREES
 61 ORNAMENTAL SHRUBS

FOLLY ROAD
 45 MPH, R/W VARIES

MUHC
 II
 SM
 3
 SOD

QV
 2
 RAPI
 3
 RAPI
 7
 SOD



RIVER POINT ROW
 20MPH, R/W VARIES







1. View of existing building to be removed facing southeast.



2. View of existing building to be removed facing southwest.



3. Streetscape view along Folly Road facing northeast.



4. Streetscape view along Rivers Point Row facing southeast.



5. View of adjacent commercial property along Rivers Point Row.



6. View of adjacent commercial property, True Value along Folly Road.

DEMOLITION NOTE:

EXISTING 13,440 SQ.FT. BUILDING, ASPHALT PARKING LOT,
AND CURB AND GUTTER TO BE REMOVED.

RIVER POINT ROW
20MPH, R/W VARIES

REAR EXTERIOR ALONG RIVER POINT ROW

EXISTING ROW

PROPOSED 100% WITH
FULLY PAVED ASPHALT

EXISTING CURB TO BE REMOVED

8' LANDSCAPE BUFFER

FUTURE R/W

EXISTING DRIVEWAY TO BE REMOVED

PROPOSED
FURNITURE STORE
3,552 SF

PROPOSED
RETAIL STORE
2,276 SF

20' TYPE C LANDSCAPE BUFFER

APPROX. 5'

5' LANDSCAPE BUFFER

5' LANDSCAPE BUFFER

FOLLY ROAD
45 MPH, R/W VARIES

FUTURE FOLLY ROAD R/W
AFTER IMPROVEMENTS

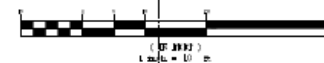
TITLE 20070700010
RIVER POINT ROW

ENCLOSED DUMPSTER PAD

PAVING AREA (TOP)

THIS PLAN SHOWS
THE PROPOSED
WORK BY THE PROPOSER LIMITED

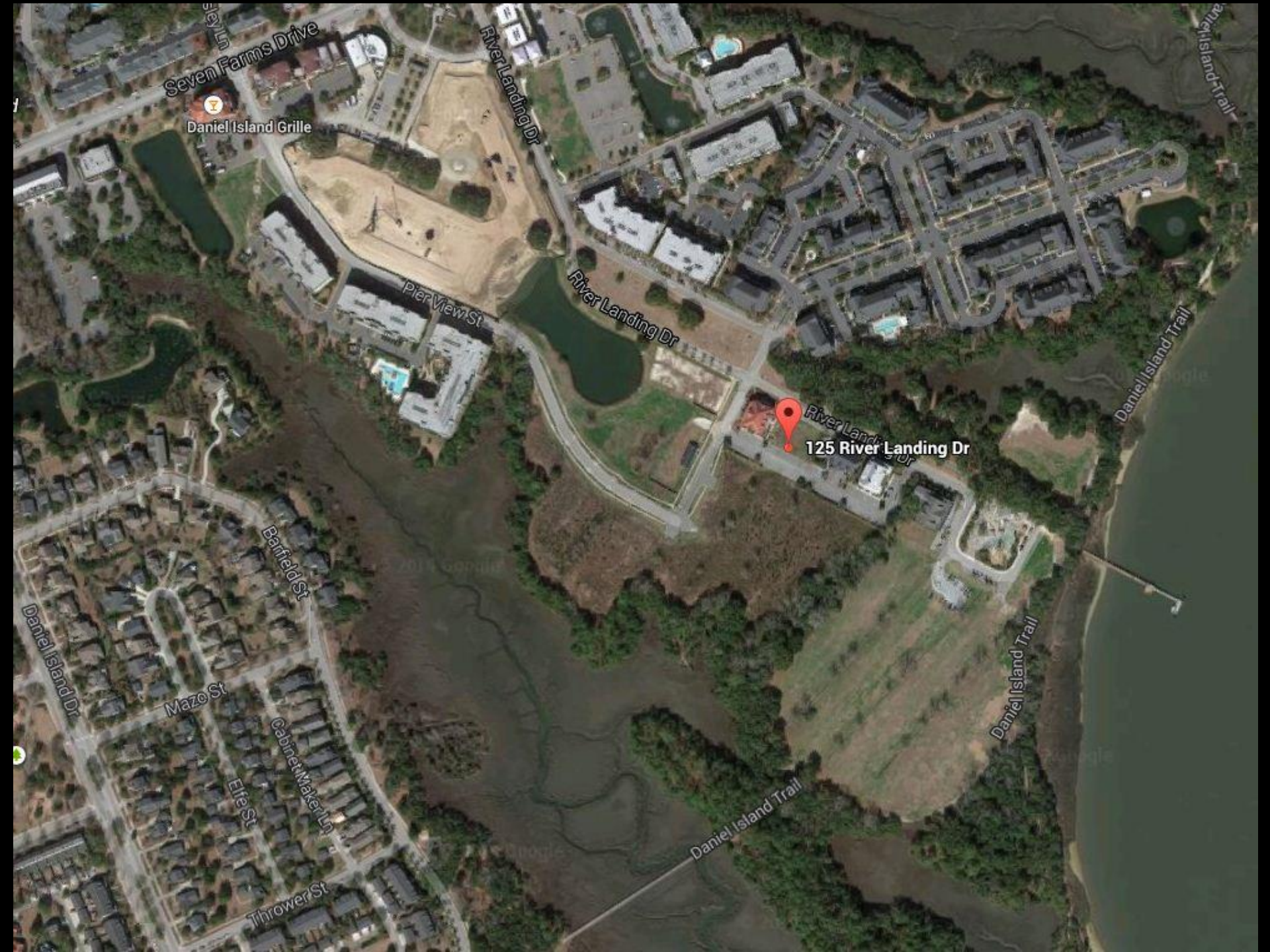
GRAPHIC SCALE



Agenda Item 3:

125 River Landing Drive

Conceptual Review for New Construction
of an Office Building



Seven Farms Drive

Daniel Island Grille

River Landing Dr

Pier View St

River Landing Dr

125 River Landing Dr

Daniel Island Trail

Daniel Island Dr

Barfield St

Mazo St

Elle St

Cabinet Maker Ln

Thrower St

Daniel Island Trail

Daniel Island Trail

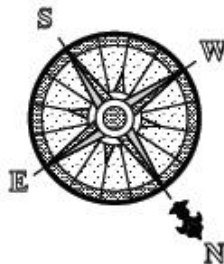
Daniel Island Trail

Retail Office Building for:

SL SHAW and Associates
125 River Landing Drive
Daniel Island, Charleston.SC



Proposed Site Location



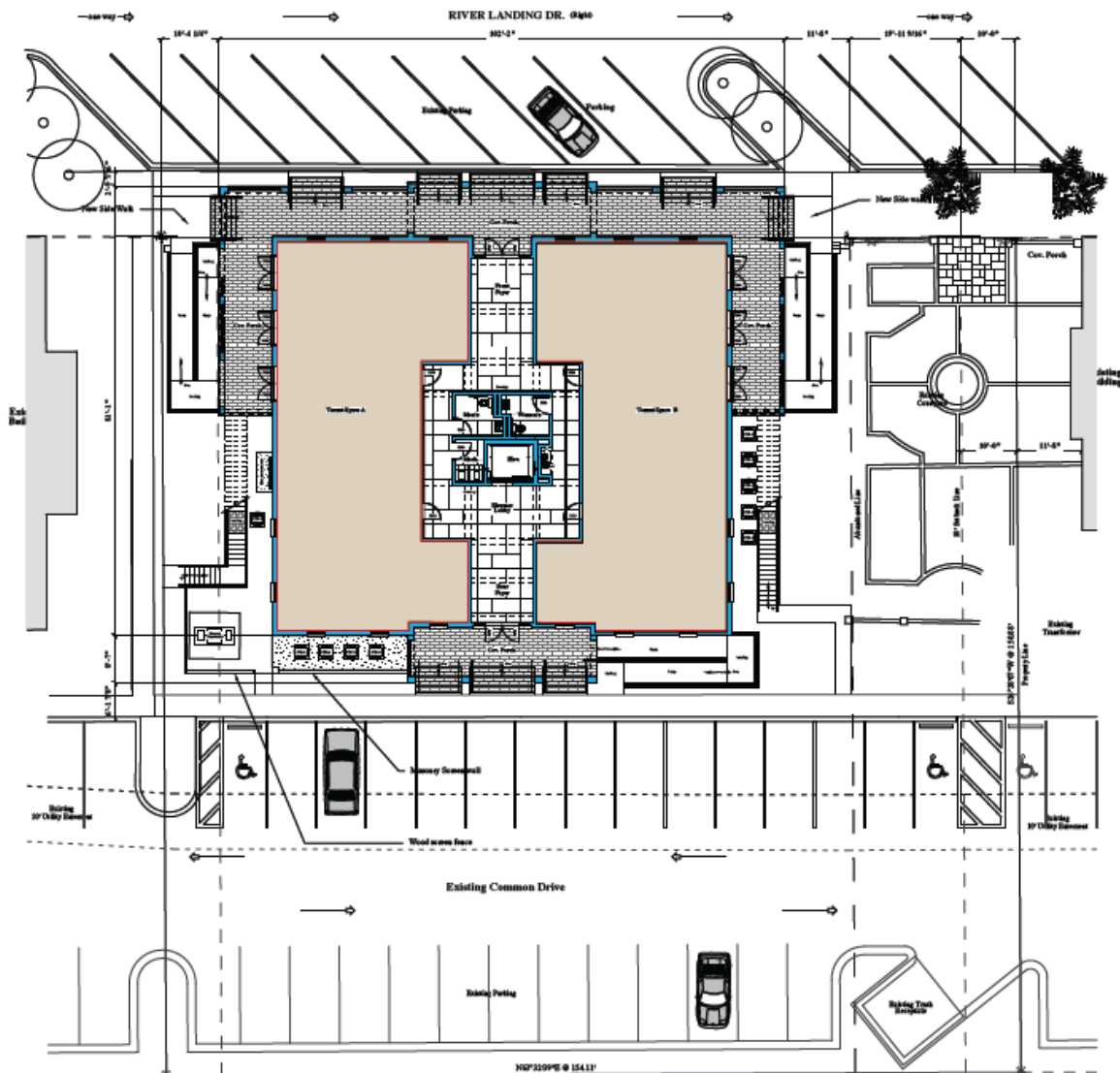


Scale 101° to 140°

Scale: 1/16" = 1'-0"



AERIAL VIEW



General Notes:

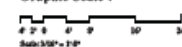
1. REFERENCE THE LANDSCAPE DRAWINGS FOR THE HARDSCAPE DESIGN AND MATERIALS.

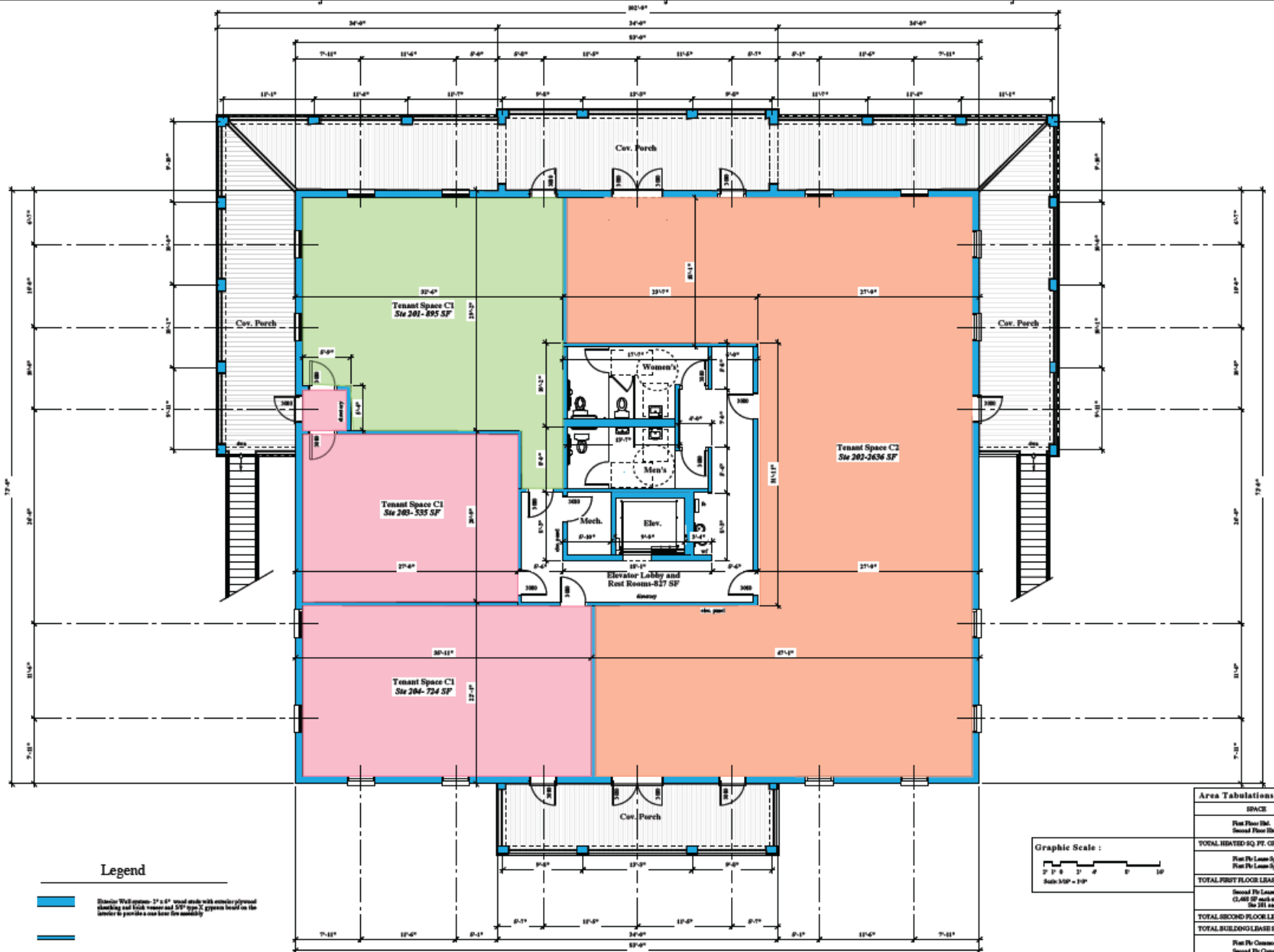


BUILDING SITE PLAN

Scale 1/32" = 1'-0"

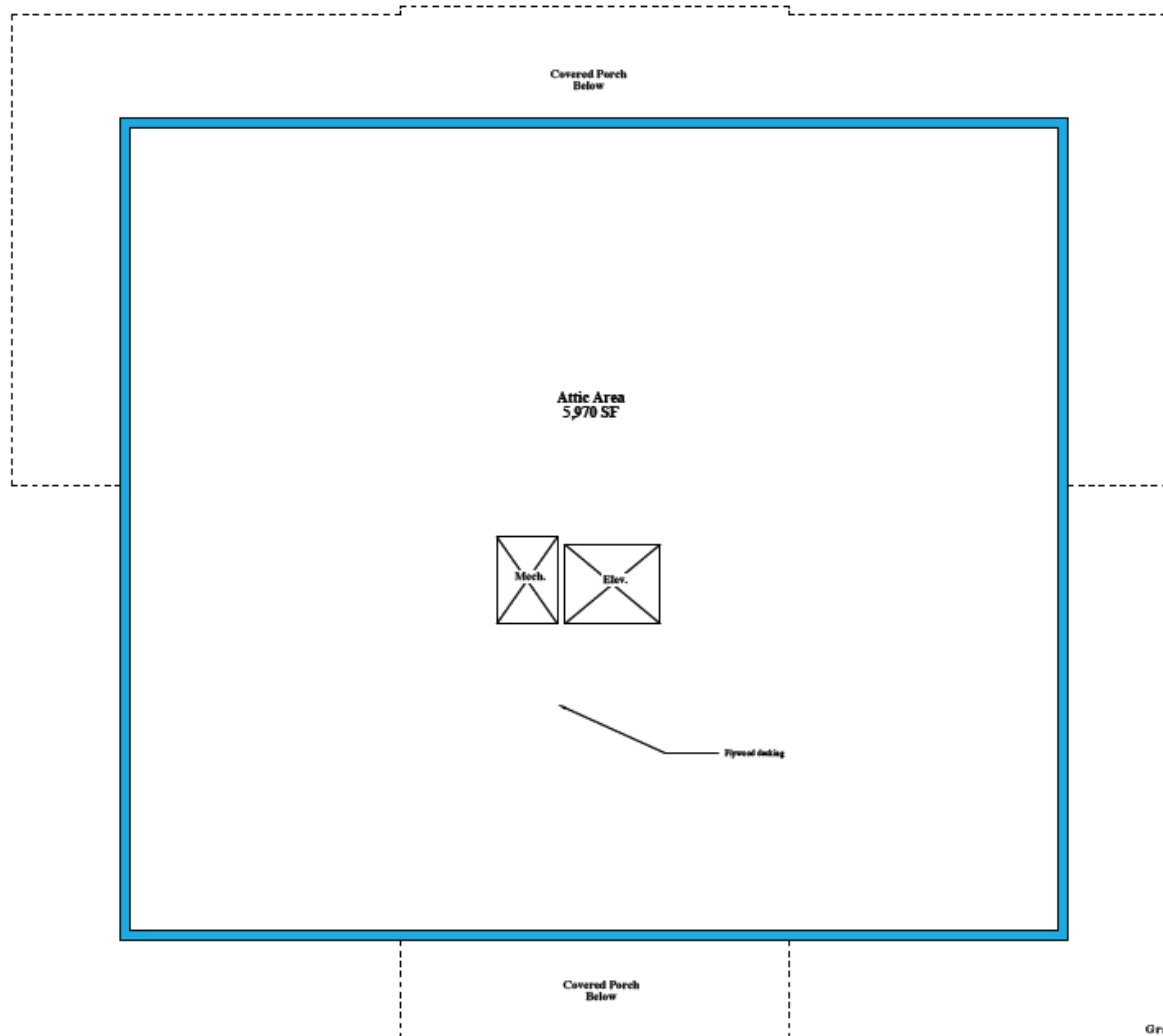
Graphic Scale :





SECOND FLOOR PLAN

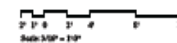
Scale 1/8" = 1'-0"



Legend

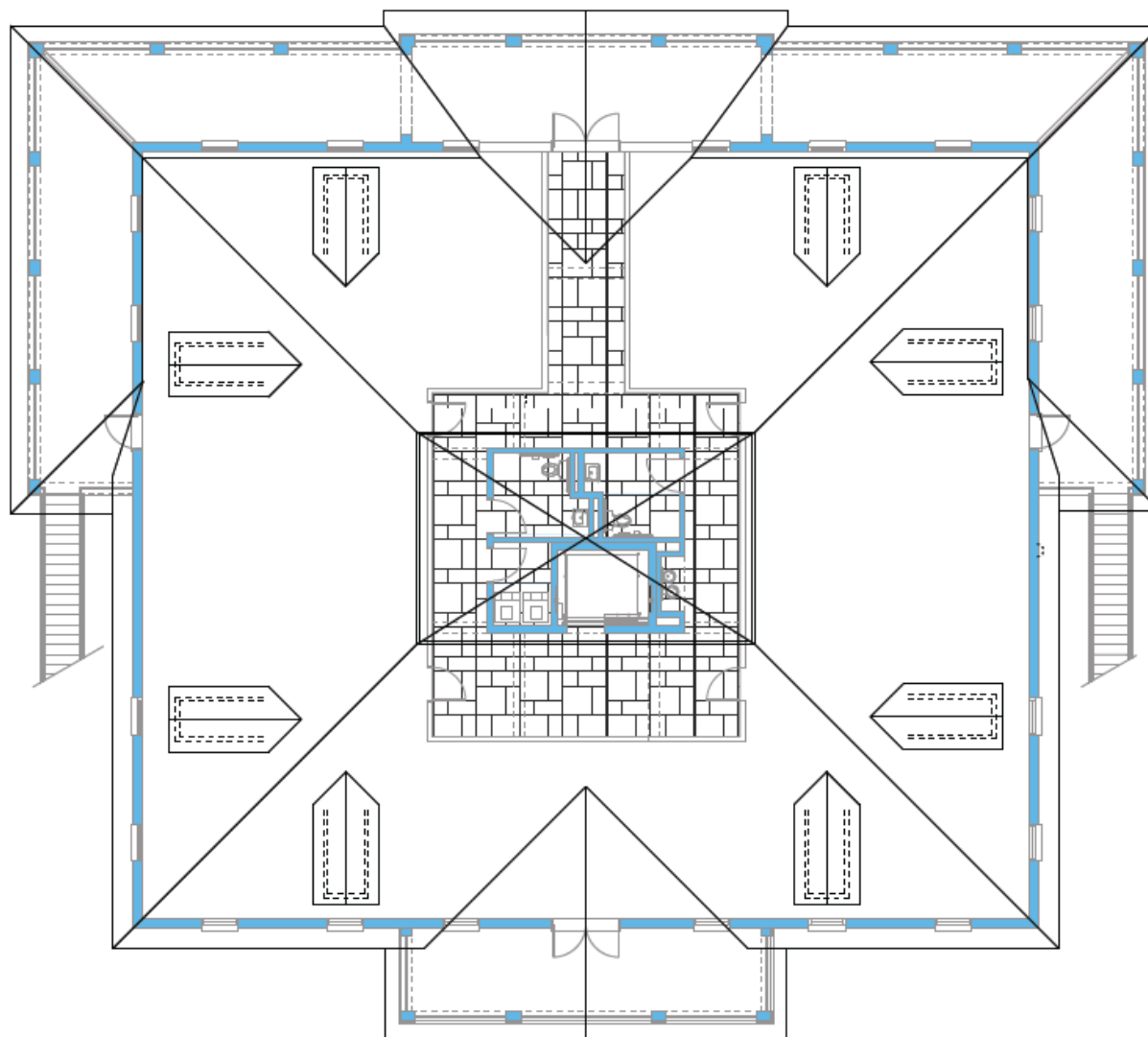
Fire-rated Wall system: 1" x 4" wood studs with exterior gypsum sheathing and 1/2" veneer and 5/8" type X gypsum board on the interior to provide a one hour fire assembly

Graphic Scale :



ATTIC FLOOR PLAN

Scale 3/8" = 1'-0"



ROOF PLAN

Scale 3/32" = 1'-0"



NORTH - STREET ELEVATION

Scale 3/8" = 1'-0"

Graphic Scale :

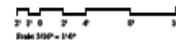




SOUTH - REAR ELEVATION

Scale 3/16" = 1'-0"

Graphic Scale :





EAST SIDE - LEFT SIDE ELEVATION

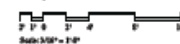
Scale: 1/8" = 1'-0"



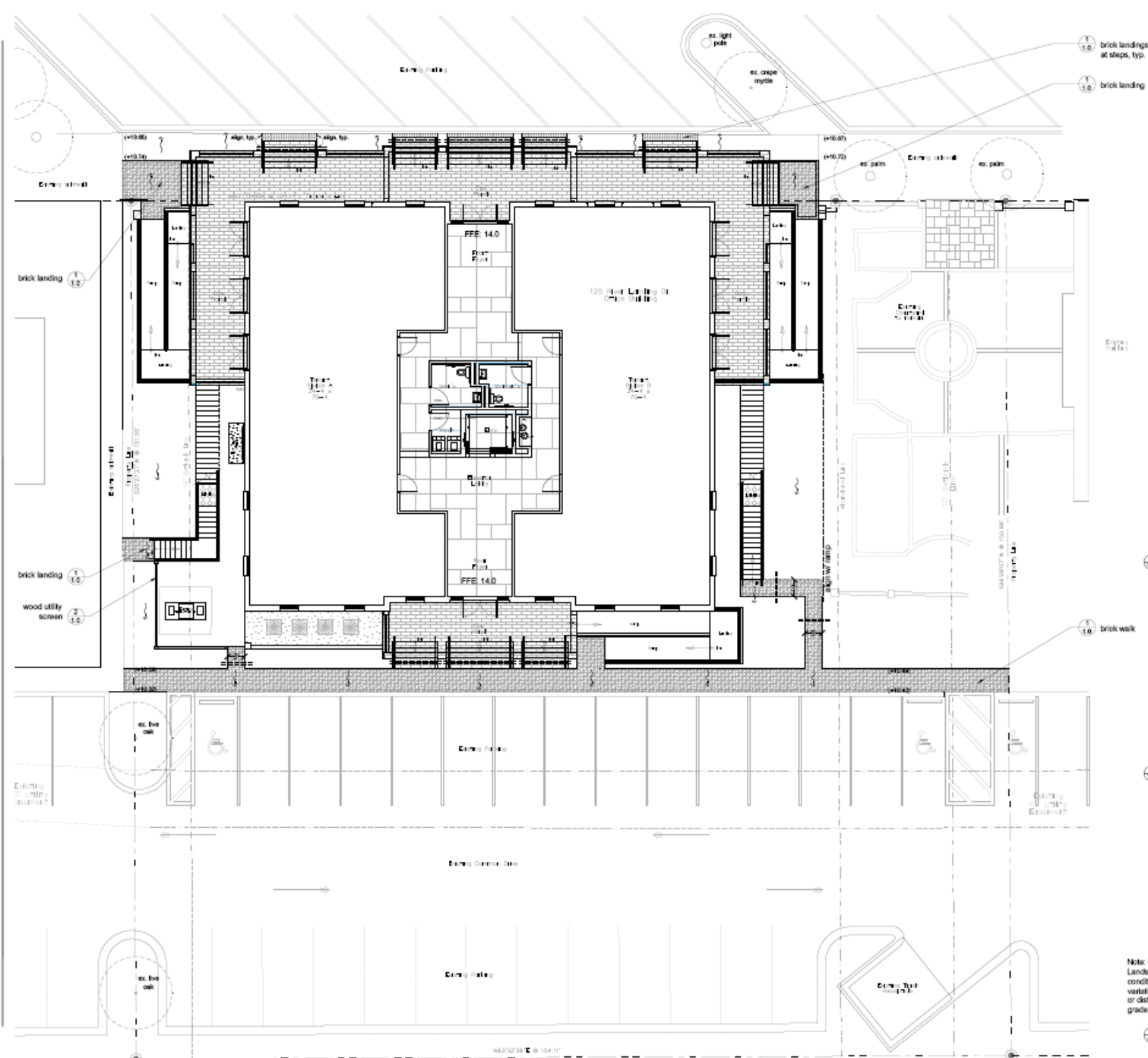
WEST- RIGHT SIDE ELEVATION

Scale: 3/32" = 1'-0"

Graphic Scale :

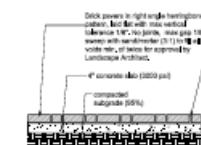


Scale: 3/32" = 1'-0"

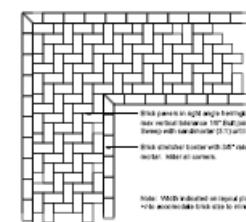


Legend

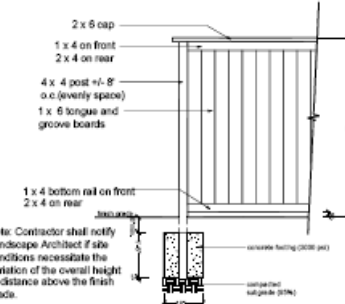
- brick paving: right angle herringbone
- (+ 10.48) exist. spot elevation
- drainage direction/pitch
- (2) 4" schedule 40 P.V.C. conduit installed side by side at a max. of 12" below grade or below wall footers. mark with pin flag. (mass to include in base bid)



Brick Paving
Scale 1/2" = 1'-0"



Brick Paving Plan
Scale 1/2" = 1'-0"



Note: Contractor shall notify Landscape Architect if site conditions necessitate the variation of the overall height or distance above the finish grade.

Wood Fence
Scale 1/2" = 1'-0"

PLANTING NOTES

- The Landscape Contractor is responsible for contacting the utility locator service, NO CUTS (1.800.922.0583), to locate all existing underground electrical and telephone utilities. Contractor to make this contact prior to beginning construction.
- Landscape Contractor shall verify plans in the field and notify Landscape Architect of any discrepancies prior to construction.
- Tree plantings and bed lines shall be staked by Landscape Contractor for Landscape Architect's approval prior to installation. The Landscape Architect reserves the right to make adjustments to planting locations as needed.
- Base bid items include all indicated graded swales, berms, plantings, mulching, irrigation system, and backflow preventer. Irrigation system to provide 100% coverage to all plant beds on site and to include a minimum of two hose bibs, and a rain gauge.
- Add fine pine bark mulch to all beds at 3 inch depth, unless otherwise noted.
- Landscape Contractor is responsible for maintaining all plants & work during the course of the project until final acceptance by Landscape Architect.
- Landscape Contractor to guarantee plant material for one (1) year from the date of written certificate of substantial completion.
- Street tree warranty: trees with a caliper of 2" to 3.5" will be required to have a one (1) year warranty; trees with a caliper of 4" to 6" will be required to have a two (2) year warranty; trees with a caliper larger than 6" will be required to have a three (3) year warranty. Palmettos will be required to have a two (2) year warranty. Warranty period begins at acceptance of street trees by the City of Charleston's Department of Parks.
- The Landscape Contractor shall exercise extreme caution in areas where additional suspected underground utilities may exist. The Landscape Contractor shall be responsible for all damage to existing utilities, both known and unknown. Also, he shall exercise industry standard safety practices while working near vehicular traffic.
- Landscape Contractor shall make all arrangements for temporary irrigation system services, permits and fees as needed.
- Landscape Contractor to provide 6" of suitable topsoil rich in organic matter and free of contaminants to all beds and fine grade to provide smooth transition into existing grades. Grade to prevent ponding.
- Plant material list is prepared for estimating purposes only. Contractors shall make their own quantity takeoffs using drawings to determine quantities to their satisfaction. Contractor shall report any discrepancies which may affect bidding to Landscape Architect.

- Plant material list is prepared for estimating purposes only. Contractors shall make their own quantity takeoffs using drawings to determine quantities to their satisfaction. Contractor shall report any discrepancies which may affect bidding to Landscape Architect.
- If seasonal conditions necessitate the need for container grown stock when balled and burlapped plant material is specified, contractor shall contact Landscape Architect for approval prior to substitution.
- Contractor must do a soil test and provide results to Landscape Architect and verify that existing soil conditions are adequate before any planting commences.
- The Contractor shall provide the client with an as-built irrigation plan upon completion of the irrigation system.
- Trees shall be watered from installation through the completion of the warranty period.
- <2 inch caliper:
2-3 gallons per inch of caliper daily for 1-2 weeks
2-3 gallons per inch of caliper every other day for 1-2 months
2-3 gallons per inch of caliper weekly for two (2) months
Additional watering as needed through the first year.
- 2-4 inch caliper:
2-3 gallons per inch of caliper daily for 1 month
2-3 gallons per inch of caliper every other day for 2-3 months
2-3 gallons per inch of caliper weekly for two (2) months
Additional watering as needed through the first year.
- >4 inch caliper:
2-3 gallons per inch of caliper daily for six (6) weeks
2-3 gallons per inch of caliper every other day for five (5) months
2-3 gallons per inch of caliper weekly until established.
- Palmettos:
Watering to be based on the average daily temperatures and the soil type at the location. Water tree by flooding saucer and allowing water to percolate in and then flood again, or put a hose on slow drip and saturate soil completely.
Temperature: 0-55 = no watering; 55-70 = water one (1) time per week; 70-85 = water two (2) times per week; 85-up = water four (4) times per week.
- Trees planted in the right-of-way must meet ANLA Nursery Stock Standards, and species selection must be approved by the Department of Parks. The City reserves the right to reject any street tree deemed to be unacceptable.
- Any plantings in the right-of-way other than street trees must be maintained by the owner.

Site Plant List

Trees

Quantity	Botanical Name	Common Name	Size	Root	Remarks
9	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	14'-16' ht.	b & b	standard, matching
1	Malus hybrida 'Zumi'	Zumi Crabapple	4' cal.	b & b	

Shrubs

Quantity	Botanical Name	Common Name	Size	Root	Remarks
2	Feijoa sellowiana	Pineapple Guava	10'-12' ht.	cont.	
10	Ilex vomitoria 'Shadow's Female'	Shadow's Female Yaupon Holly	10'-12' ht.	cont.	multi-trunk, matching
20	Mahonia eurybracteata 'Soft Caress'	Soft Caress Mahonia	3 gal.	cont.	
50	Podocarpus macrophyllus 'Maki'	Maki Podocarpus	6' ht.	cont.	clip to hedge

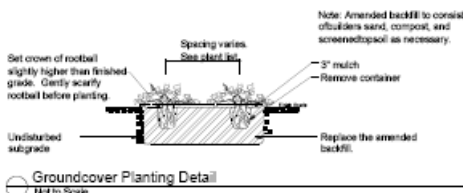
Perennials, Groundcover and Vines

Quantity	Botanical Name	Common Name	Size	Root	Remarks
37	Ficus pumila	Fig Vine	1 gal.	cont.	
163	Lomandra longifolia 'Breeze'	Breeze Grass	1 gal.	cont.	
60	Trachelospermum asiaticum	Asiatic Jasmine	1 gal.	cont.	
115	Trachelospermum asiaticum Variegatum	Variegated Asiatic Jasmine	1 gal.	cont.	white variegation
9	Trachelospermum jasminoides	Confederate Jasmine	3 gal.	cont.	

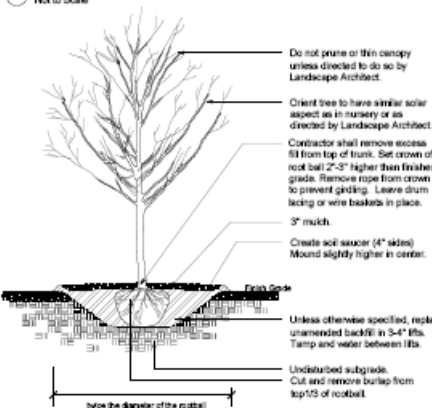
ROW Plant List

Trees

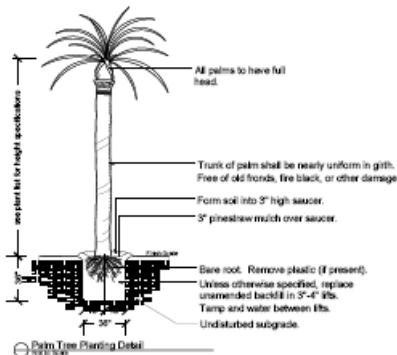
Quantity	Botanical Name	Common Name	Size	Root	Remarks
6	Sabal Palmetto	Palmetto	18' ht.	b & b	booted



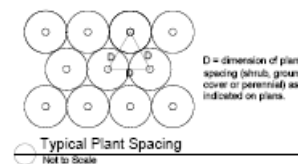
Groundcover Planting Detail
Not to Scale



Deciduous Tree Planting Detail
Not to Scale



Palm Tree Planting Detail
Not to Scale



Typical Plant Spacing
Not to Scale



Shrub Planting Detail
Not to Scale



Existing Building to the WEST

North Orientation



Composite Rendering

North Orientation

Exterior Materials:

Brick Veneer

Hardi Material Trim and Siding

Metal Standing Seam Roofing

Metal Railings

